



OFFICE LOCATION:
111 3rd. St. South
Glasgow, Montana
406-228-2273 office

PROPERTY LOCATION:
Junction of Hwy 2 & 24
East edge of Glasgow
Glasgow, Montana

ASKING PRICE: \$360,000

www.MissouriRiverRealty.com

General Information

LOT SIZE:Total acres 18.0+/-

TYPE OF LAND: Small acreage /
Commercial building site, No current
zoning

IMPROVEMENTS: Power, natural gas,
and Rural water on property.

EXTRAS: Hwy 2 and Hwy 24 frontage

WATER: Dry Prairie Rural Water

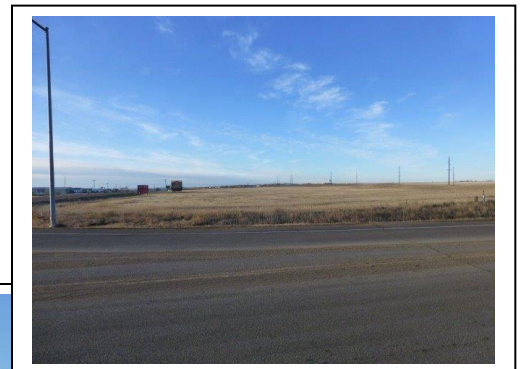
TAXES: New division of land TBD

ASKING PRICE: **\$360,000**



Listing #401ME

Don't pass up this opportunity to locate your business on this highly visible prime development property located on the East edge of Glasgow with both Hwy 2 and Hwy 24 frontage. This property is located in the path of growth for the City of Glasgow. Property can be purchased in parcels sized to fit your needs.



The information contained herein was obtained from the owner and other sources deemed reliable but is not guaranteed. Prospective buyers are advised to examine the facts to their own satisfaction.

FARM/RANCH

RESIDENTIAL

INVESTMENT

COMMERCIAL

RECREATIONAL